

PARKING ANALYSIS	
REQUIRED PARKING	
1440 SF OF RESTAURANT/RETAIL SPACE	1.25 SPACE PER 100 SF
18 SPACES	
3 SPACES FOR BREWERY	
21 SPACES REQUIRED	
PROPOSED PARKING	
23 SPACES PARKING	
2 SPACES ACCESSIBLE PARKING	
25 SPACES PROVIDED	

KINDERHILL BREW LAB

505 WEST 31ST STREET

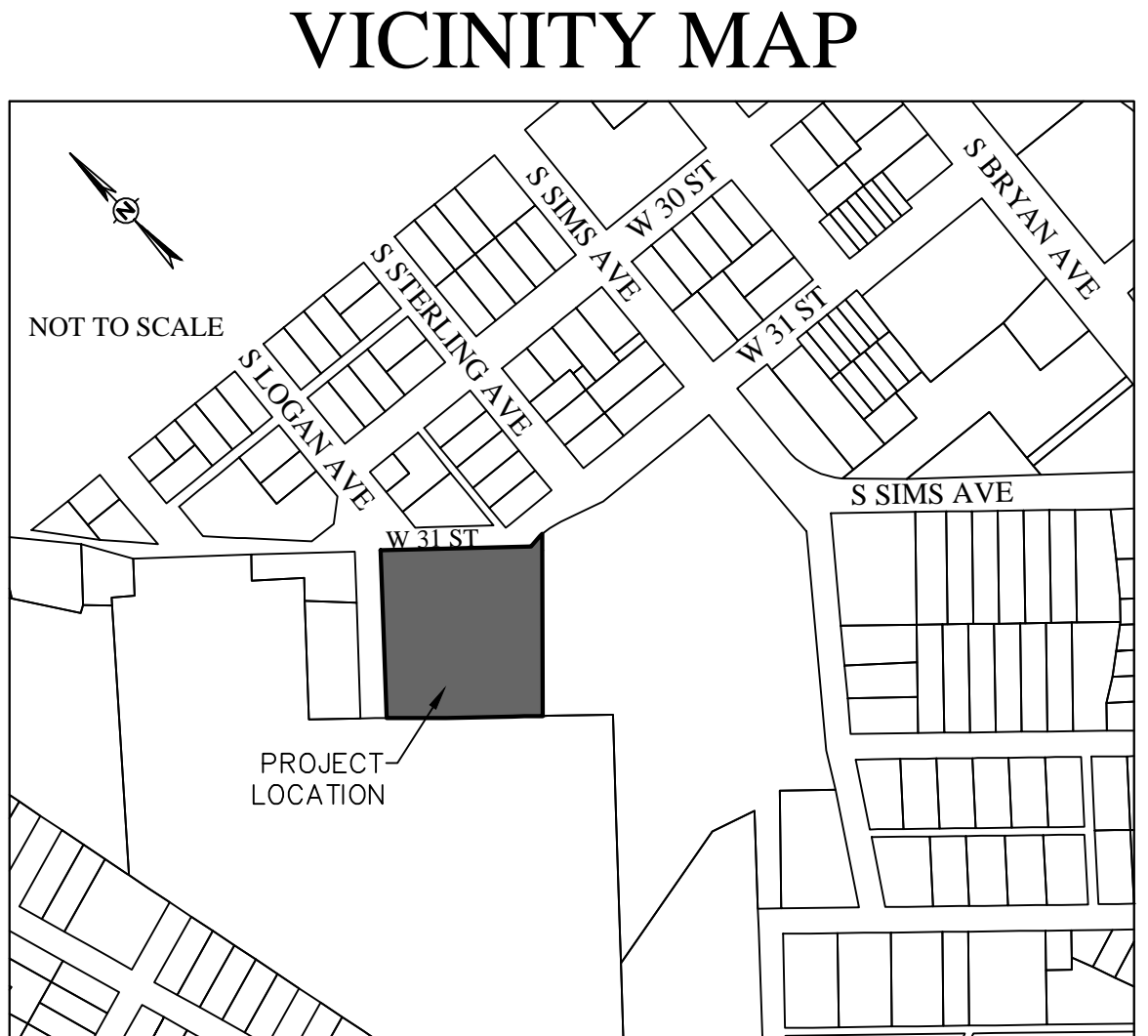
TOTAL DISTURBED AREA = 1238 ACRES
THE RESERVE AT COTTONWOOD CREEK
 LOT 2, BLOCK 1
TOTAL AREA = 2,479 ACRES
VOL. 18835, PG. 260
STEPHEN F. AUSTIN LEAGUE #0 A - 02
BRYAN, BRAZOS COUNTY, TEXAS

SCALE: 1"=30' APRIL 2024

OWNER/DEVELOPER:
 KINDERHILL BREW LAB
 800 SOUTH BRYAN AVENUE
 BRYAN, TX 77803

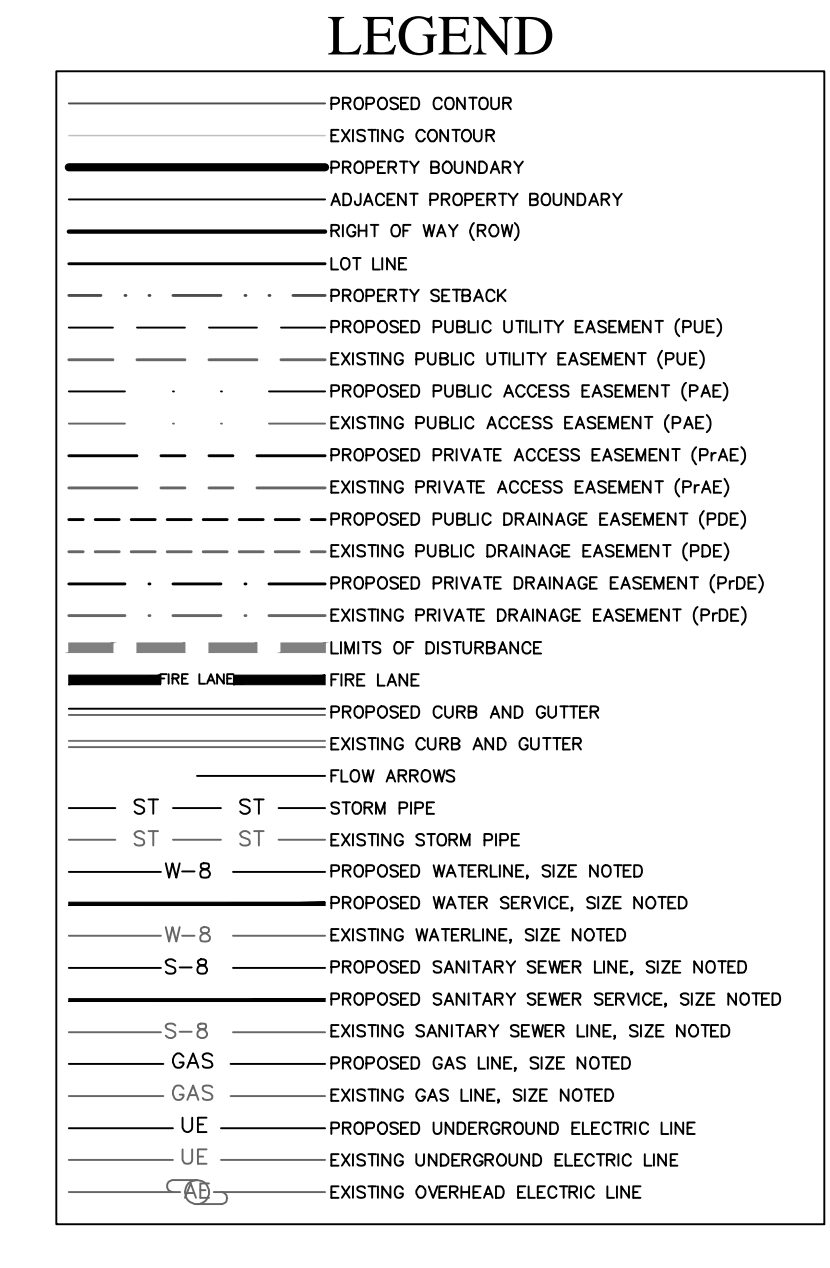
SURVEYOR:
 BRAD KERR, RPLS NO. 4502
 KERR SURVEYING, LLC
 409 N. TEXAS AVENUE
 BRYAN, TX 77803
 (979) 268-3195

ENGINEER:
 SCHULTZ ENGINEERING, LLC
 PO BOX 11995
 COLLEGE STATION, TX 77842
 (979)764-3900



LINE #	LENGTH	DIRECTION
L1	32.87'	S85°10'25"E

Curve Table						
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	6.01'	200.02'	001°43'21"	3.01'	6.01'	S84°18'45"E

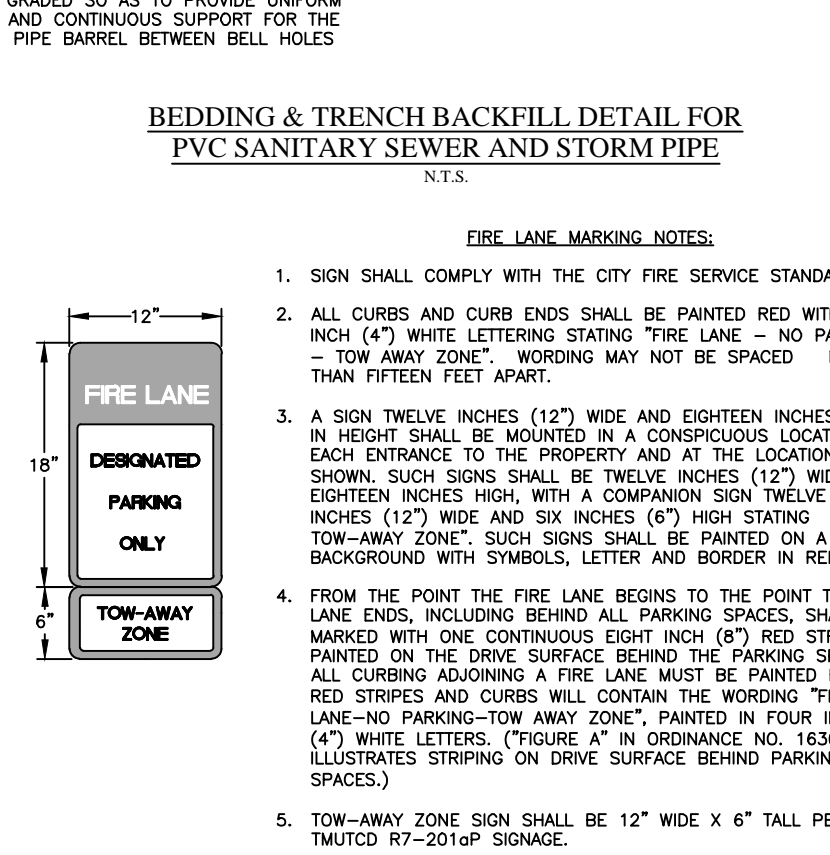
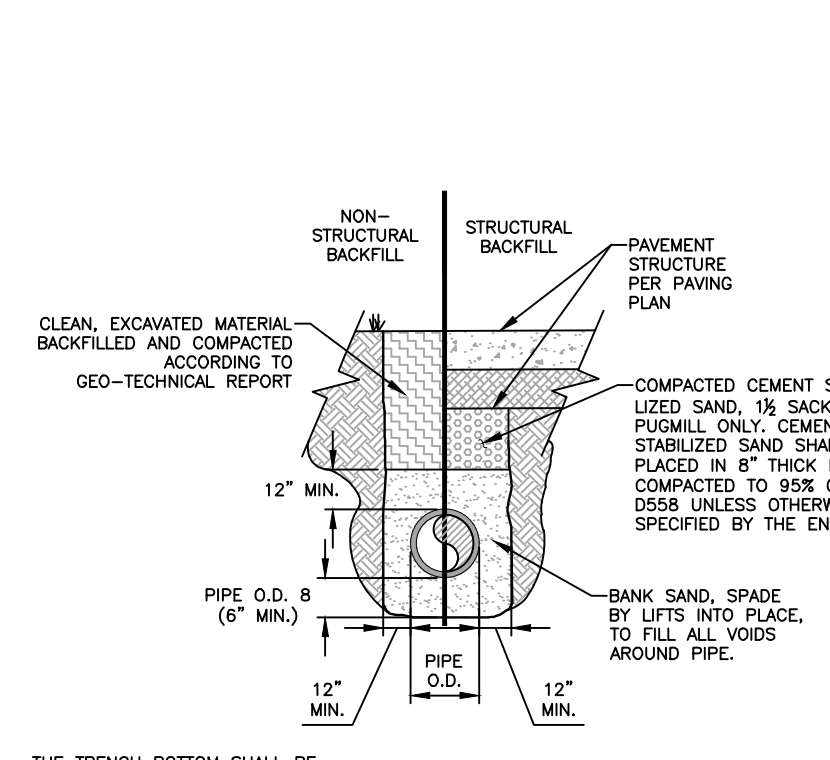


BENCHMARK INFORMATION

TBM 1	N: 10229306.70 E: 3539669.42 ELEV: 352.320 IRON ROD FOUND
TBM 2	N: 10229512.70 E: 3539446.76 ELEV: 346.640 IRON ROD FOUND
TBM 3	N: 10229049.09 E: 3539463.91 ELEV: 348.990 IRON ROD FOUND
TBM 4	N: 10229271.54 E: 3539228.83 ELEV: 342.270 IRON ROD FOUND
TBM 5	N: 10229306.70 E: 3539669.42 ELEV: 352.320 IRON ROD FOUND
TBM 6	N: 10229358.20 E: 3539360.37 ELEV: 344.490 IRON ROD FOUND/ CONTROL 4

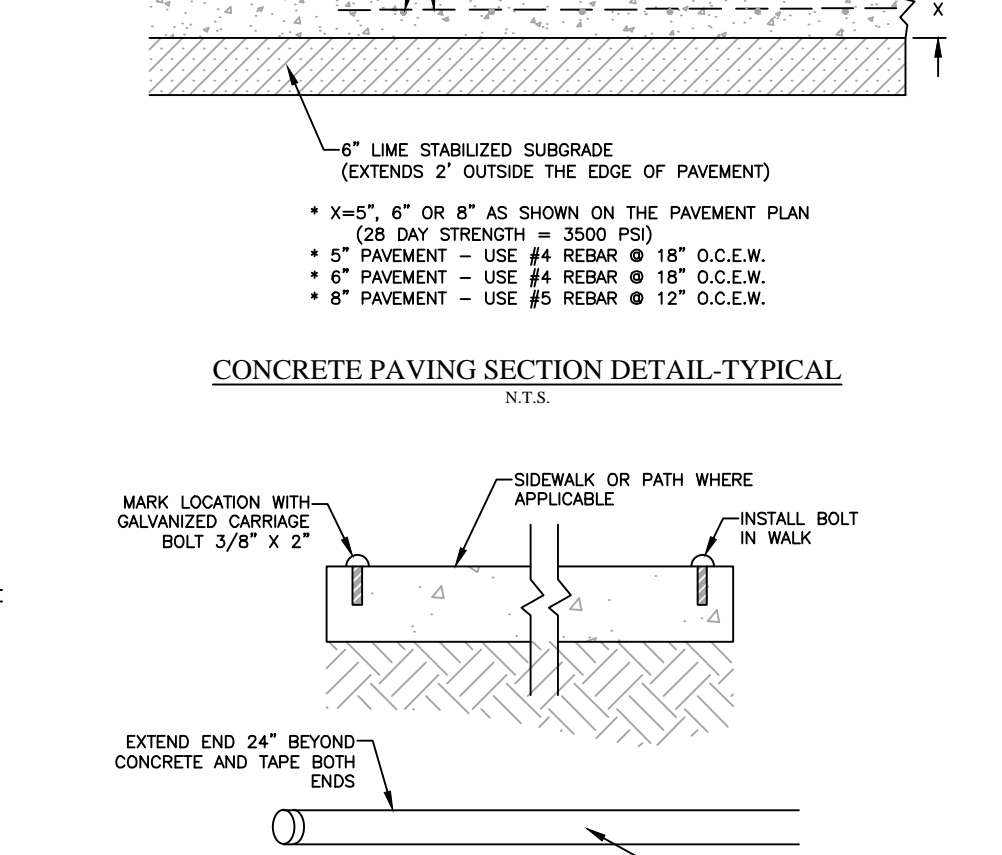
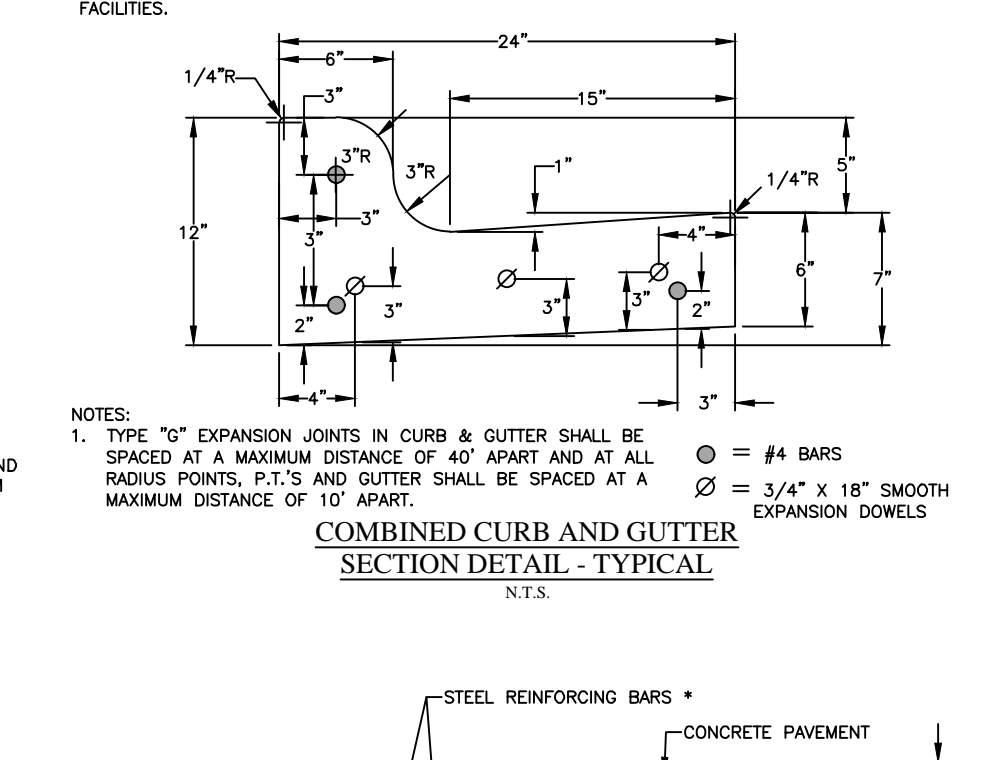
UTILITY DEMAND

WATER DEMAND	
AVERAGE	10 GPM
MAXIMUM (PEAK)	40 GPM
1" DOMESTIC WATER METER	
AVERAGE	10 GPM
MAXIMUM (PEAK)	40 GPM
SANITARY SEWER DEMAND	
AVERAGE	10 GPM
MAXIMUM (PEAK)	40 GPM
6" SANITARY SEWER LINE	
@ 1.04% MIN. SLOPE	
FIXTURE UNITS = 90	
FIXTURE UNITS ALLOWED = 700	
PIPE SLOPE OK	



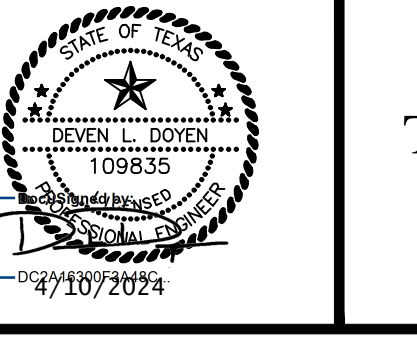
- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF BRYAN/COLLEGE STATION STANDARD SPECIFICATIONS AND DETAILS FOR WATER, SEWER, STREETS, DRAINAGE. ALL CONSTRUCTION SHALL BE COORDINATED WITH THE CITY ENGINEER'S OFFICE.
 - ALL UTILITY LINES (WATER, GAS, SANITARY SEWER, STORM SEWER, ETC.) SHOWN ARE TAKEN FROM BEST AVAILABLE RECORDS. CONSTRUCTION UTILITY MAP DOCUMENTS OBTAINED FROM CITY INDEPENDENT AGENCIES AND/OR ABOVE GROUND FIELD EVIDENCE. SHOWN POSITIONS MAY NOT REPRESENT AS-BUILT CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. NOTIFICATION OF THE UTILITY COMPANIES 48 HOURS IN ADVANCE OF CONSTRUCTION IS REQUIRED.
 DIG TESS: (800) 344-8377
 ATOMOS ENERGY: (979) 774-2506
 SUDEN LINK COMMUNICATIONS: (979) 595-2429
 FRONTIER COMMUNICATIONS: (979) 821-4783
 WATER/SEWER CITY OF BRYAN: (979) 209-5900
 BTU: (979) 821-5700
 CITY OF BRYAN: (979) 209-5900
 - THE CONTRACTOR SHALL SETUP A PRE-CONSTRUCTION MEETING WITH BTU PRIOR TO THE START OF ELECTRICAL INFRASTRUCTURE CONSTRUCTION.
 - THE CONSTRUCTION SHALL COMPLY WITH OSHA STANDARD 29 CFR PART 1926 SUBPART P FOR TRENCH SAFETY REQUIREMENTS.
 - BUILDING SETBACK SHALL BE IN ACCORDANCE WITH THE CITY OF BRYAN LAND AND SITE DEVELOPMENT ORDINANCE.
 - PROPOSED SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH THE SIGN ORDINANCE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO USE WHATEVER MEANS NECESSARY TO MINIMIZE EROSION AND PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. THIS INCLUDES THE INSTALLATION OF A CONSTRUCTION EXIT AND SILT FENCE AS NECESSARY.
 - THE CONTRACTOR IS REQUIRED TO MAINTAIN THE TPDS GENERAL PERMIT NO. TXR 150000 REQUIREMENTS FOR CONSTRUCTION SITES.
 - ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN DISTURBED BY EROSION AND PRESENT SEDIMENT FROM LEAVING THE PROJECT SITE. THE CONTRACTOR SHALL REPAIR OR REPLACE THE VEGETATION OR GRASS WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION OR BETTER. THIS MATERIAL AND WORK SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
 - LANDSCAPING AND IRRIGATION DESIGN & ANALYSIS WILL BE PROVIDED ON THE LANDSCAPE & IRRIGATION PLANS. THE IRRIGATION SYSTEM MUST BE APPROVED AND INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY.
 - ALL RADI AND DISTANCES ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT SHALL BE PER TYPICAL PAVEMENT SECTION. REFER TO PAVEMENT PLAN FOR DETAIL.
 - DETENTION AND DRAINAGE FACILITIES SHALL BE CONSTRUCTED FIRST.
 - THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN THESE PLANS, DRAWINGS AND SPECIFICATIONS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION OF NEAR ENERGIZED OVERHEAD POWER LINES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES OR SERVICE LINES THAT ARE GROSSED OR EXPOSED DURING CONSTRUCTION OPERATIONS. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN, OR DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE THE UTILITIES OR SERVICE LINE WITH THE SAME TYPE OF MATERIAL AND CONSTRUCTION OR BETTER. THIS MATERIAL AND WORK SHALL BE AT THE CONTRACTOR'S OWN EXPENSE.
 - A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE KEPT ON SITE AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS, RECORDING ANY CHANGES DURING CONSTRUCTION.
 - NO ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO THEIR EXISTING CONDITION OR BETTER.
 - THE CONTRACTOR SHALL NOT CREATE A DIRT NUISANCE OR SAFETY HAZARD IN ANY STREET OR DRIVEWAY.
 - ACCURATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
 - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
 - THE IRRIGATION SYSTEM WILL BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE-CHECK BACK FLOW DEVICE, AN INSTALLATION AS PER CITY ORDINANCE 2294.
 - ALL BACK FLOW DEVICES WILL BE INSTALLED AND TESTED UPON INSTALLATION.
 - THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF THESE PLANS FOR CONSTRUCTION PURPOSES. THE ELECTRONIC FILE AND INFORMATION GENERATED, BY SCHULTZ ENGINEERING, LLC (SE), FOR THIS PROJECT IS CONSIDERED BY SE TO BE CONFIDENTIAL. WHEN ISSUED, IT'S USE IS INTENDED SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED. PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR DISTRIBUTION OF THESE DOCUMENTS IN ANY FORM OR FASHION. THE RECIPIENT UNDERSTANDS THAT THIS DATA IS AUTHORIZED AS IS WITHOUT ANY WARRANTY AS TO PERFORMANCE, ACCURACY, FREEDOM FROM ERROR, OR AS TO ANY RESULTS GENERATED THROUGHOUT ITS USE. THE RECIPIENT ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF THEIR USE.
 - CURB DETAILS REFER TO BRYAN - COLLEGE STATION STANDARD STREET DETAILS SHEET (FIGURE: ST, SHEET 1 OF 2).
 - WHERE ELECTRIC FACILITIES ARE INSTALLED, BTU HAS THE RIGHT TO INSTALL, OPERATE, RELOCATE, CONSTRUCT, RECONSTRUCT ADD TO, MAINTAIN, INSPECT, PATROL, CHANGE, REPAIR, REMOVE AND REPLACE SAID FACILITIES UPON, OVER, UNDER, AND ACROSS THE PROPERTY INCLUDED IN THE PUE AND THE RIGHT OF INGRESS AND EGRESS ON PROPERTY ADJACENT TO THE PUE TO ACCESS ELECTRIC FACILITIES.

- SITE SPECIFIC NOTES:**
- THE OWNER OF THE PROPERTY IS KINDERHILL BREW LAB. THE SUBJECT PROPERTY IS THE RESERVE AT COTTONWOOD CREEK, BLOCK 1, LOT 2, 2.447 ACRES. PROPERTY IS ZONED PLANNED DEVELOPMENT-BUSINESS DISTRICT (PD-B), AS APPROVED IN ORDINANCE NO. 2648.
 - THE TOTAL DISTURBED AREA FOR THIS PROJECT IS 1,424 ACRES (62,056 SF).
 - THE SUBJECT TRACT DOES NOT LIE WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS FOR BRAZOS COUNTY, TEXAS AND INCORPORATED AREAS. COMMUNITY NO. 48082, PANEL NO. 0195E, MAP NO. 480410195E, EFFECTIVE DATE, MAY 16, 2012.
 - THE MINIMUM REQUIRED FLOW FOR A RESTAURANT IBC TYPE VB OF 4,825 SF IS 2,000 GALLONS PER MINUTE. THE BUILDING IS NOT SPRINKLED. TWO FIRE HYDRANTS ARE REQUIRED. THE EXISTING HYDRANT IS SUFFICIENT.
 - PARKING LOT STRIPING OTHER THAN FIRE LANE STRIPING SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES, ITEM #69, TYPE 2 MARKING MATERIALS. (979) 821-5700
 - CONTOURS SHOWN ARE FROM FIELD SURVEY DATA.
 - ALL STORM SEWER IS PRIVATE. STORM SEWER COVERS SHALL BE LABELED PRIVATE AND SHALL NOT USE THE CITY OF BRYAN LOG ON COVERS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTAINMENT AND PROPER DISPOSAL OF ALL LIQUID AND SOLID WASTE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT THE OCCURRENCE OF WIND BLOWN LITTER FROM THE PROJECT SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE CONTAINMENT FOR WASTE, PRIOR TO AND DURING DEMOLITION AND CONSTRUCTION. SOLID WASTE ROLL-OFF BODIES/METAL DUMPSTERS SHALL BE SUPPLIED BY THE CITY OR CITY PERMITTED CONTRACTOR(S) ONLY.
 - NORMAL DOMESTIC WASTEWATER IS ANTICIPATED TO BE DISCHARGED FROM THIS DEVELOPMENT.
 - ALL BACKFLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE.
 - THE IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER AN ATMOSPHERIC OR A PRESSURE VACUUM BREAKER OR REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE AND INSTALLED AS PER CITY ORDINANCE.
 - CONCRETE PAVEMENT TO BE PROVIDED FOR DUMPSTER LOCATIONS PER CITY OF BRYAN SPECIFICATION. DUMPSTER CONTAINMENT AREAS SHALL BE REINFORCED WITH #6 BARS AT 12" OWC AND THE PAD SHALL EXTEND AN ADDITIONAL 10' IN FRONT OF CONTAINMENT AREA.
 - ALL DEVICES, APPURTENANCES, APPLIANCES AND APPARATUS INTENDED TO SERVE SOME SPECIAL FUNCTION AND THAT CONNECTS TO THE WATER SUPPLY SYSTEM, SHALL BE PROVIDED WITH PROTECTION AGAINST BACKFLOW AND CONTAMINATION OF THE WATER SUPPLY.
- UTILITY NOTES:**
- THE CONTRACTOR SHALL ONE (1) THE APPROPRIATE UTILITY COMPANY A MINIMUM OF 72 HOURS NOTICE SO THAT THEIR FIELD REPRESENTATIVE MAY BE PRESENT PRIOR TO CONSTRUCTION ACTIVITIES IN AND AROUND UTILITY EASEMENTS AND EXISTING UTILITIES.
 - THE CONTRACTOR SHALL COORDINATE ALL INSTALLATIONS OF SERVICE LINES, CONDUITS, METERS, ETC., WITH THE APPROPRIATE UTILITY COMPANY.
 - REGARDLESS OF ELEVATIONS SHOWN FOR MANHOLE RIMS, CLEAN-OUT COVERS, OR GRATES, THESE ITEMS SHALL BE PLACED FLUSH WITH THE PAVEMENT ELEVATIONS AND SLOPES. MANHOLES AND CLEAN-OUTS NOT IN PAVEMENT AREAS SHALL BE SET 3 INCHES ABOVE THE FINISH GRADE.
 - THE CONTRACTOR SHALL COORDINATE ALL UTILITY INSTALLATION SO THAT GRADE CRITICAL ELEMENTS (I.E. STORM DRAIN, SANITARY SEWER, ETC.) DO NOT CONFLICT WITH NON-GRADE CRITICAL ELEMENTS (I.E. ELECTRICAL CONDUIT, WATER SERVICES, ETC.).
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONNECTIONS TO PUBLIC SYSTEMS AND INSTALLATIONS WITH REGULATORY INSPECTOR.
 - ALL ELECTRICAL UTILITIES ARE TO BE INSTALLED PER COLLEGE STATION UTILITIES (CSU) OR BRYAN TEXAS UTILITIES (BTU) ELECTRICAL PLAN.
 - THE FIRE SUPPRESSION LINE SHALL HAVE A LOCKABLE LID ON THE ISOLATION VALVE. THE LOCKABLE LID SHALL SUPPLY THE SAME PROTECTION AS THE MAP OR USA 1562 LOCKING LID, AT A MINIMUM AN ALTERNATE LOCKABLE LID SHALL BE APPROVED BY COLLEGE STATION UTILITIES DIRECTOR OR DESIGNER PRIOR TO INSTALLATION.
 - PUBLIC WATER & SEWER LINES CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BCS UNIFIED DESIGN GUIDELINES, STANDARD DETAILS, AND SPECIFICATIONS, 2000 EDITION.
 - PRIVATE WATER LINE AND PRIVATE SANITARY SEWER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLUMBING CODE. CLEANOUTS SHALL BE INSTALLED PER PLUMBING CODE.
 - PRIVATE WATER & SEWER LINE SERVICE MATERIALS TO BE IN ACCORDANCE WITH PLUMBING CODE.
 - STRUCTURAL BACKFILL AREAS ARE DEFINED AS ANY TRENCH SECTION UNDER OR WITHIN 5' OF PAVEMENT.
 - DEPTH OF THE EXISTING WATER LINES TO BE VERIFIED BY THE CONTRACTOR.
 - FINELY DIVIDED EARTH FREE OF ROCK, LUMPS AND CLODS EXCEEDING 6" SHALL BE PLACED BY HAND, AND COMPACTED AROUND THE CAST IRON PIPE BEFORE BACKFILL HAS BEGUN BY ANY MECHANICAL EQUIPMENT.
 - ALL THRUST BLOCKING SHALL PROVIDE A MINIMUM OF 2 SQUARE FEET OF BEARING AREA OF CONCRETE ON UNDISTURBED SOIL, OR AS DIRECTED BY THE ENGINEER AND SHALL HAVE A MIN. 28 DAY STRENGTH = 2000 PSI.
 - WATER MAINS WILL NOT BE FULLY PRESSURIZED UNTIL ALL CONCRETE HAS REACHED 7 DAY STRENGTH.
 - ALL FITTINGS SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE DIRECTED.
 - WATER LINE FITTING, FITTINGS, AND VALVES SHALL COMPLY WITH NFPA "STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES - 2010 EDITION".
 - PRIVATE WATER, STORM SEWER, AND SANITARY SEWER LINES REQUIRE A PLUMBING PERMIT AND MUST BE INSPECTED BY THE CITY PRIOR TO COVERING WORK.



MARK	REVISION	BY	DATE
		KERR	APRIL 2024

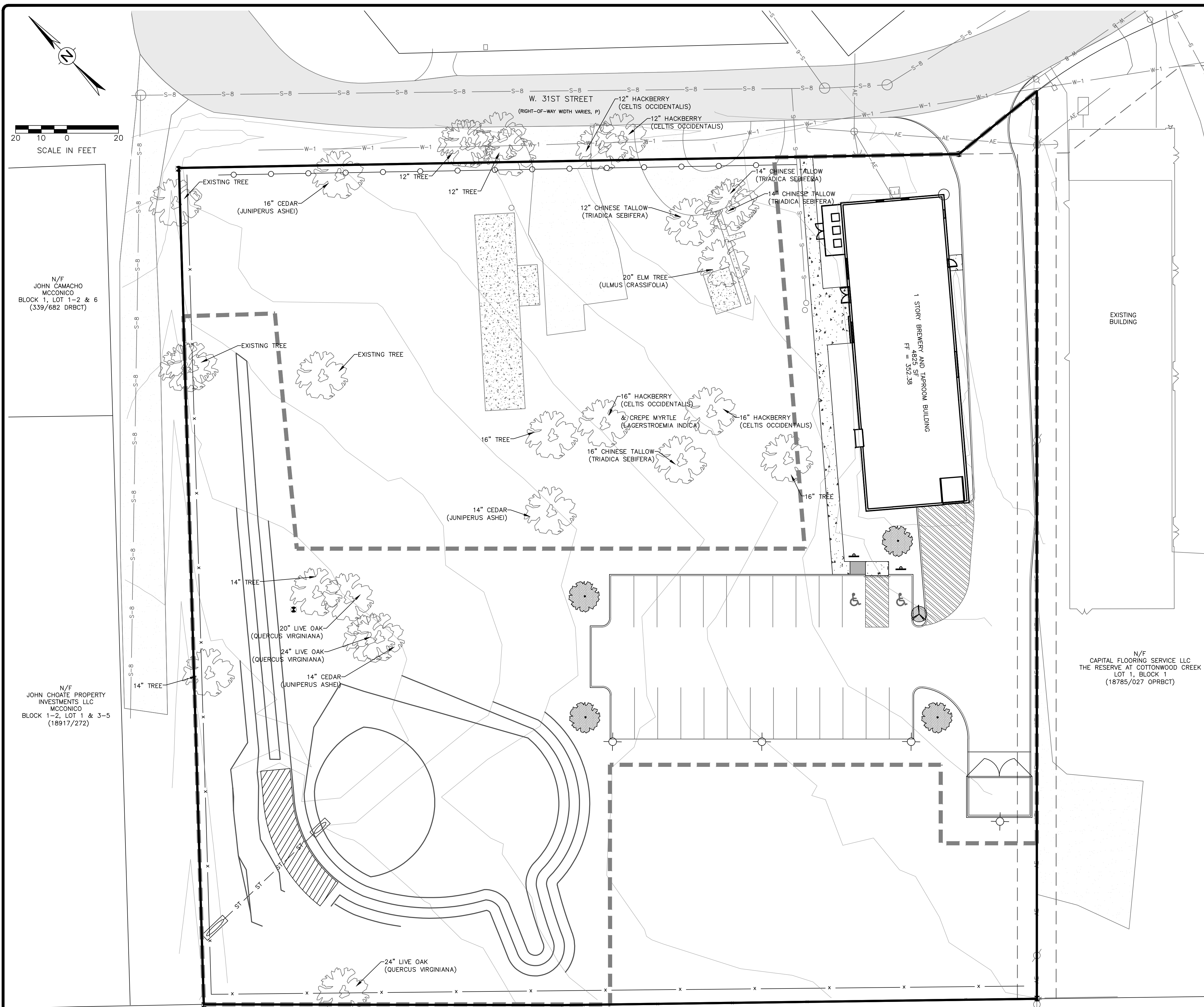
SURVEYED	DESIGNED	DRAWN	APPROVED	JOB NO.	DATE
KERR	DLD	DLD	JPS	23-123	APRIL 2024



KINDERHILL BREW LAB
THE RESERVE AT COTTONWOOD CREEK
BLOCK 1, LOT 2
 BRYAN, TX

SITE & UTILITY PLAN

SCALE	SHEET
VERTICAL N/A	C1
HORIZONTAL 1"=30'	
PLOTTING SCALE: 1:1	
FILE NAME: 23-123	



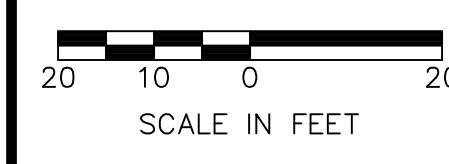
LANDSCAPE AREA CALCULATIONS					
PROJECT AREA					
DEVELOPED AREA (SF)	REQUIRED LANDSCAPING (15% OF DEVELOPED AREA)	MIN. TREE AREA (50% OF REQUIRED LANDSCAPING SF)	MIN. CANOPY TREE AREA (50% OF TREE AREA SF)		
62056	9,308	4654	2327		
LANDSCAPE AREA					
SYMBOL	SIZE	NAME & TYPE	QUANTITY	VALUE (SF)	TOTAL AREA (SF)
PROPOSED LANDSCAPE					
	8" MIN. HEIGHT >3" TRUNK DIA., MEASURED 12" FROM BASE, CONTAINER GROWN	LIVE OAK (QUERCUS VIRGINIANA) CANOPY	4	250	1000
	6" MIN. HEIGHT >1.5" TO 3" TRUNK DIA., MEASURED 12" FROM BASE, CONTAINER GROWN	CREPE MYRTLE (LAGERSTROEMIA INDICA) NON-CANOPY	1	100	100
	5 GAL.	SEA GREEN JUNIPERS/JUNIPER US x PETZERIANA SEA GREEN)	0	10	0
EXISTING LANDSCAPE					
	>4.5" CALIPER, MEASURED 12" FROM BASE	CANOPY	24	400	9600
CANOPY TREE AREA (SF):					10600
TOTAL TREE AREA (SF):					10700
TOTAL LANDSCAPE AREA (SF):					10700
TOTAL LANDSCAPE AREA PROVIDED (SF):					10700
TOTAL LANDSCAPE AREA REQUIRED (SF):					9308

GENERAL NOTES:

- 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK (NOT LOOSE), OR A PERENNIAL GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWALES AND DRAINAGE AREAS. THE PARKING LOT SETBACK, RIGHTS-OF-WAY, AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
- TREE PROTECTION BARRICADES MUST BE IN PLACE PRIOR TO ANY DEVELOPMENT ACTIVITY AS WELL AS THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. BARRICADE FOR INDICATED TREES TO BE CONSTRUCTED WITH 48" HIGH ORANGE PLASTIC CONSTRUCTION NETTING AND SECURED TO STEEL T-POSTS.

IRRIGATION SYSTEM NOTES:

- AN IRRIGATION SYSTEM TO SERVICE ALL NEW PLANTINGS WILL BE INSTALLED BY A CERTIFIED INSTALLER BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED.
- IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE-CHECK BACK FLOW DEVICE, AND INSTALLED AS PER CITY ORDINANCE.
- ALL BACK FLOW DEVICES MUST BE INSTALLED AND TESTED UPON INSTALLATION AS PER CITY ORDINANCE.



N/F JOHN CAMACHO MCCONICO BLOCK 1, LOT 1-2 & 6 (339/682 DRBCT)

N/F JOHN CHOATE PROPERTY INVESTMENTS LLC MCCONICO BLOCK 1-2, LOT 1 & 3-5 (18917/272)

N/F CAPITAL FLOORING SERVICE LLC THE RESERVE AT COTTONWOOD CREEK LOT 1, BLOCK 1 (18785/027 OPRBCT)

TWIN CITY MISSION LLC TWIN CITY MISSION SUBDIVISION LOT 1, BLOCK 1 (PLAT. 9197/41 OPRBCT)

MARK	REVISION	BY	DATE

		911 Southwest Pkwy E. College Station, Texas 77840 979.764.3900 TBPE FIRM NO. 12327	
SURVEYED	DESIGNED	DRAWN	APPROVED
KERR	DLD	DLD	JPS
JOB NO.	DATE		
23-123	APRIL 2024		

THIS LANDSCAPE PLAN IS FOR PERMITTING ONLY AND IS NOT INTENDED FOR CONSTRUCTION

KINDERHILL BREW LAB
THE RESERVE AT COTTONWOOD CREEK
BLOCK 1, LOT 2
BRYAN, TX

LANDSCAPE PLAN

SCALE
 VERTICAL: N/A
 HORIZONTAL: 1"=30'
 PLOTTING SCALE: 1:1
 FILE NAME: 23-123

SHEET
L1

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